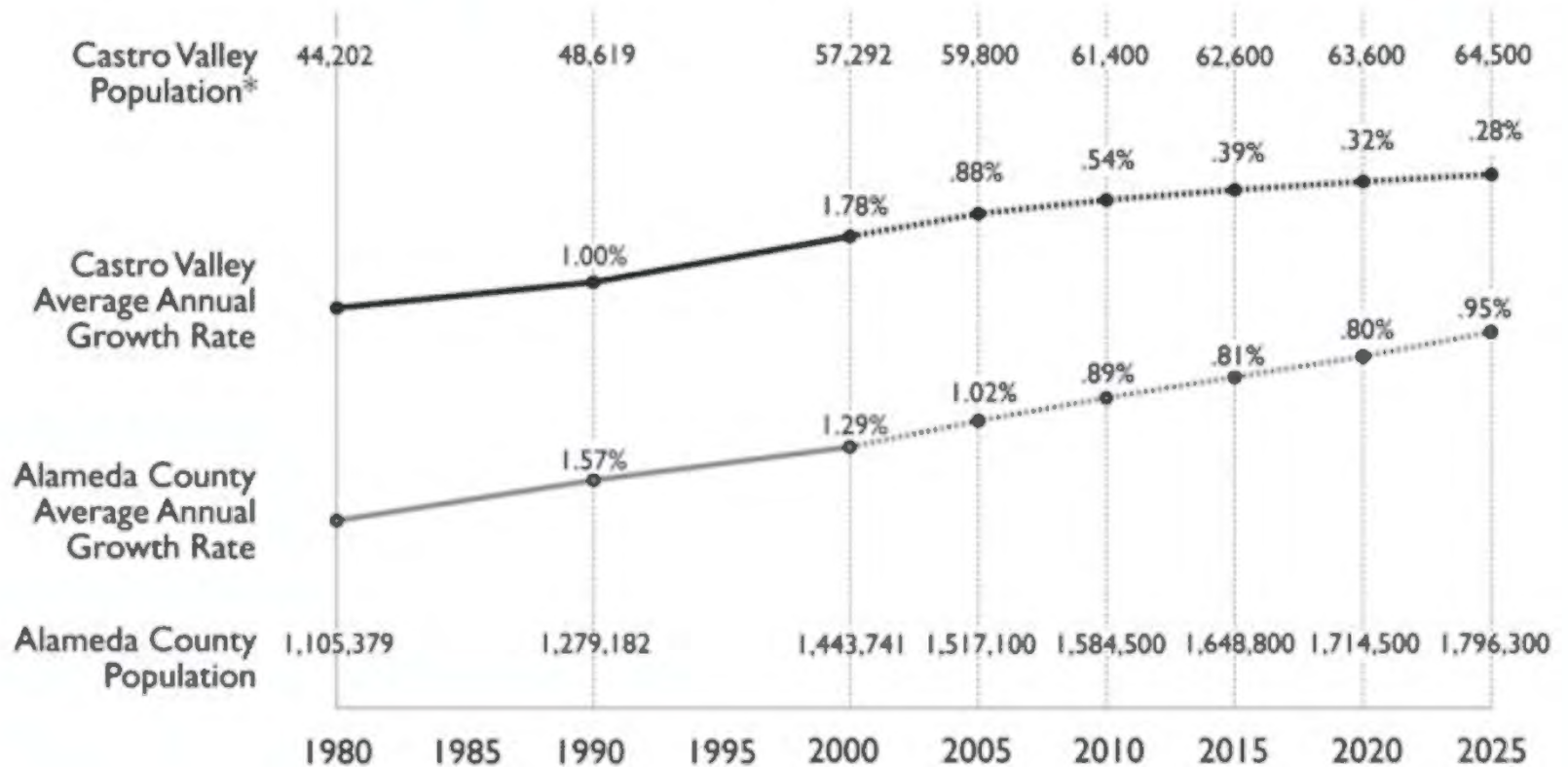


“Residential Design Standards and Guidelines” and their Impact to Homeowners and Developers

Rodrigo Orduña, *AICP*
Assistant Planning Director
Alameda County Planning Department



Chart 3.1-1: Castro Valley* and Alameda County Population Trends and Projections (1980-2025)



* Excluding Five Canyons

Sources: 1990, 2000, 2010 US Census; 2012 Castro Valley General Plan; ABAG Projections 2005.



House in a Suburban Neighborhood



Townhouse Neighborhood



Mixed-Use Street





ALAMEDA COUNTY
Community Development Agency

PLANNING DEPARTMENT



MARCH 2012

Castro Valley General Plan

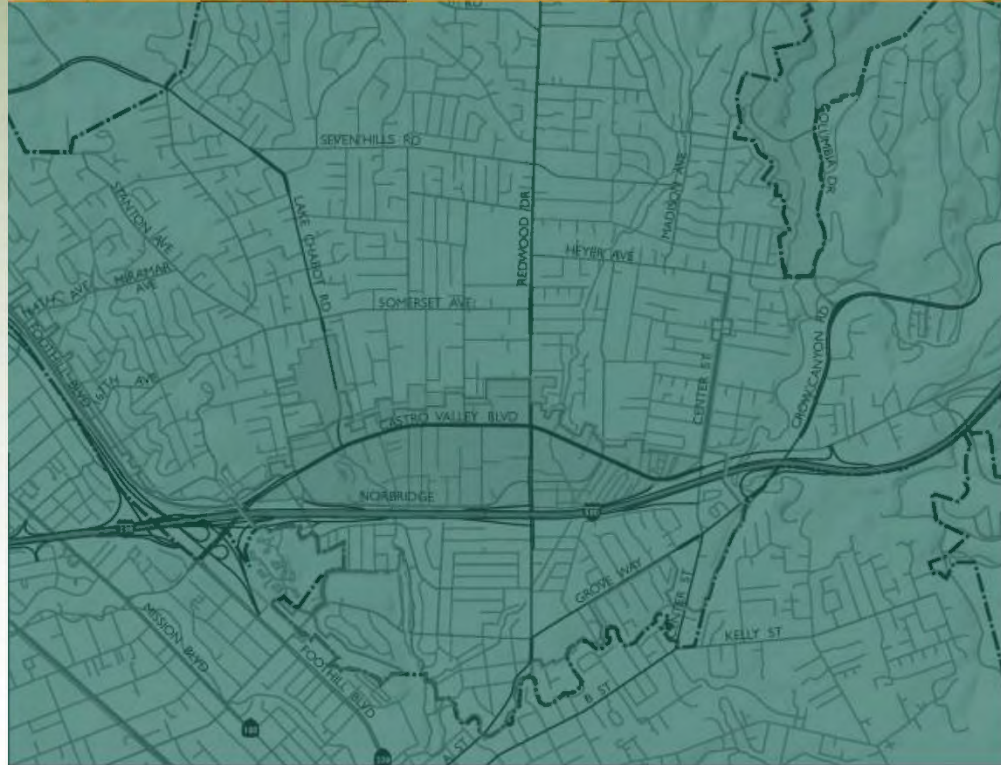
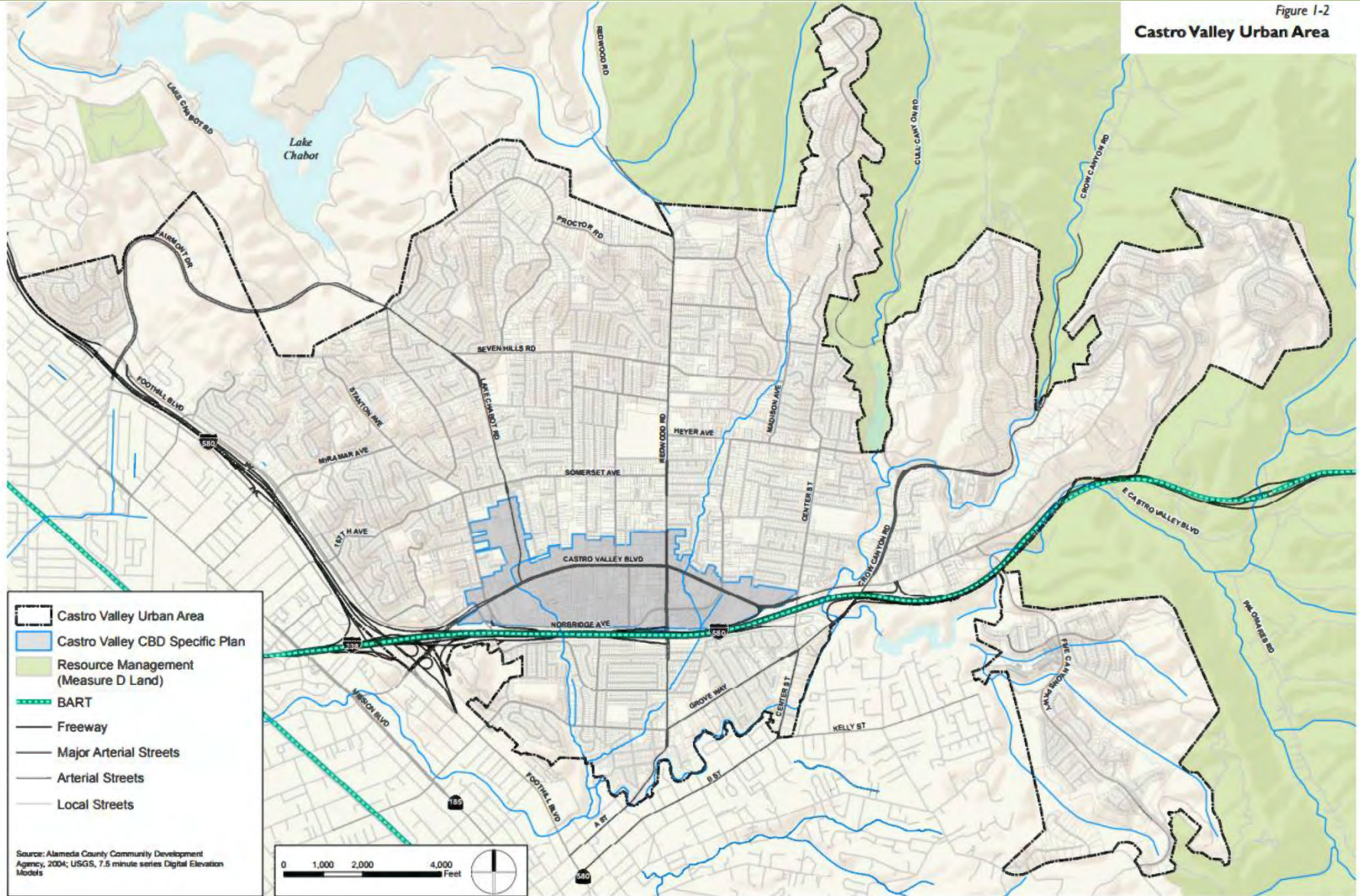


Figure 1-2

Castro Valley Urban Area



Castro Valley General Plan

Community Vision for Castro Valley

Preserve the small town “rural” character of Castro Valley, with low scale buildings, views to the natural areas, many small local businesses, and a town center where people gather and see their neighbors.

Only allow new infill housing on sites that have capacity in a way that fits in with the existing scale and character of the community.

Provide a variety of types of housing that are available for all types of households and incomes, including single family homes, townhomes, apartments, condominiums, cottages, and mobile homes.

Encourage new housing on designated sites in the Central Business District that are close to BART and other transit facilities.

Ch. 2 -- Vision for Castro Valley 2025 – pgs. 2-4 and 2-5



Castro Valley General Plan

Major Initiatives to Accomplish the Vision

Identify regulatory changes to be made to implement the General Plan:

- *Alameda County Zoning Ordinance*,
- Central Business District Specific Plan, and
- other applicable regulations to implement the community's vision

Design Standards and Guidelines

Establish comprehensive framework of zoning and subdivision regulations, development standards, and guidelines used in the review of all residential projects to ensure that new residential development fits with the desired character for Castro Valley

Ch. 2 -- Vision for Castro Valley 2025 – pgs. 2-5 and 2-6



Top Ten Priorities for Castro Valley

At workshops conducted during the planning process, community residents agreed that the following ten actions should be the top priorities over the lifetime of the General Plan. Successful execution or attainment of these clear and realistic items, which are listed in descending order of importance, will help bring Castro Valley closer to achieving its desired future.

1. Highly Visible Hillside or Canyon Sites Preserved as Open Space.
2. Castro Valley Streetscape Improvements.
3. Enforcement of Zoning and Design Review Regulations, as well as property maintenance requirements.
- 4. Residential Design Standards and/or Guidelines.**
5. Billboards Eliminated
6. Neighborhood Commercial Center Sites at Heyer/Center and Lake Chabot Road/Seven Hills Renovated and/or Redeveloped.
7. Commercial Façade Improvement Program.
8. Revised Subdivision Standards – Lot Size, Private Streets, Landscaping, etc.
9. Commercial Design Review Standards and/or Guidelines.
10. New neighborhood park in the western area of Castro Valley, and/or in other areas.

Ch. 2 -- Vision for Castro Valley 2025 – pg. 2-9



VERSION: SEP 27, 2017 (CURRENT)

- Title 17 - ZONING
 - Chapter 17.02 - INTRODUCTORY PROVISIONS
 - Chapter 17.04 - DEFINITIONS
 - Chapter 17.06 - A DISTRICTS
 - Chapter 17.08 - R-1 DISTRICTS
 - Chapter 17.10 - R-2 DISTRICTS
 - Chapter 17.12 - R-5 DISTRICTS
 - Chapter 17.13 - M-U DISTRICTS
 - Chapter 17.14 - R-3 DISTRICTS
 - Chapter 17.16 - R-4 DISTRICTS
 - Chapter 17.17 - SD DISTRICT
 - Chapter 17.18 - PD DISTRICTS
 - Chapter 17.20 - HP DISTRICTS
 - Chapter 17.22 - B DISTRICTS
 - Chapter 17.24 - D DISTRICTS
 - Chapter 17.25 - DV DISTRICTS
 - Chapter 17.26 - L DISTRICTS
 - Chapter 17.28 - X DISTRICTS
 - Chapter 17.30 - S DISTRICTS
 - Chapter 17.32 - H-1 DISTRICTS
 - Chapter 17.34 - C-O DISTRICTS

< Alameda County, California - Code of Ordinances

SUPPLEMENT HISTORY TABLE >

ALAMEDA COUNTY, CALIFORNIA - MUNICIPAL CODE

modified



A Codification of the General Ordinances of
Alameda County, California

Beginning with Supp. No. 51,
Supplemented by Municipal Code Corporation



Municipal Code Corporation | P.O. Box 2235 Tallahassee, FL 32316
info@municode.com | 800.262.2633
www.municode.com

PREFACE

The Alameda County, California Municipal Code, originally published by Book Publishing Company in 1996, has been kept current by regular supplementation by Municipal Code Corporation, its successor in interest.

During original codification, the ordinances were compiled, edited and indexed by the editorial staff of Book Publishing Company under the direction of the Office of the County Counsel and the Clerk of the Board of Supervisors.

The code is organized by subject matter under an expandable three-factor decimal numbering system which is designed to facilitate supplementation without disturbing the numbering of existing provisions. Each section number designates, in sequence, the numbers of the Title, chapter, and section. Thus, [Section 2.12.040](#) is Section .040, located in [Chapter 2.12](#) of [Title 2](#). In most instances, sections are numbered by tens (.010, .020, .030, etc.), leaving nine vacant positions between original sections to accommodate future provisions. Similarly, chapters and titles are numbered to provide for internal expansion.

In parentheses following each section is a legislative history identifying the specific sources for the provisions of that section. This legislative history is complemented by an ordinance disposition table, following the text of the code, listing by number all ordinances, their subjects, and where they appear in the codification; and beginning with Supplement No. 51, legislation can be tracked using the "Code Comparative Table and Disposition List."

Alameda County Zoning Ordinance

https://library.municode.com/ca/alameda_county/codes/code_of_ordinances?nodeId=ALAMEDA_CO_CALIFORNIAMUCO



VERSION: SEP 27, 2017 (CURRENT)

Title 17 - ZONING

Chapter 17.02 - INTRODUCTORY PROVISIONS

Chapter 17.04 - DEFINITIONS

Chapter 17.06 - A DISTRICTS

Chapter 17.08 - R-1 DISTRICTS

17.08.010 - Single-family residence districts—Intent.

17.08.015 - Single-family residence districts—Reference to Residential Design Standards and Guidelines.

17.08.020 - Map designations.

17.08.030 - Permitted uses.

17.08.040 - Conditional uses.

17.08.050 - Accessory buildings and accessory uses.

17.08.060 - Building site.

17.08.070 - Yards.

17.08.080 - Yards—Alternate provision of rear yard.

17.08.090 - Yards—Dwelling facing side yard.

17.08.100 - Height of buildings.

Chapter 17.10 - R-2 DISTRICTS

Chapter 17.12 - R-5 DISTRICTS

(See Sections [17.52.180](#)—[17.52.320](#), [17.52.470](#) and [17.52.730](#).)

(Prior gen. code § 8-26.4)

17.08.060 - Building site.

Except as otherwise specified in the case of a combining district, every use in an R-1 district shall be on a building site having a median lot width not less than fifty (50) feet and an area not less than five thousand (5,000) square feet. A corner building site shall have a median lot width of not less than sixty (60) feet.

(Prior gen. code § 8-26.5)

17.08.070 - Yards.

Except as otherwise specified in the case of a combining district, the minimum requirements for yards in R-1 districts shall be as follows, subject to the provisions of [Section 17.52.330](#):

- A. Depth of front yard: Twenty (20) feet;
- B. Depth of rear yard: Twenty (20) feet;
- C. Width of side yards: not less than five feet plus one foot for each full ten feet by which the median lot width exceeds fifty (50) feet up to a maximum requirement of ten feet, except that in every case the side yard on the street side of a corner lot shall have a width not less than ten feet.

(Prior gen. code § 8-26.6)

17.08.080 - Yards—Alternate provision of rear yard.

[Section 17.08.070](#) notwithstanding, a rear yard may have a depth of not less than ten feet if that portion of the rear yard less than twenty (20) feet in depth is compensated by open area within the same or adjacent yards on the same building site that exceed side and rear yard requirements by an area at least equal to extent of building coverage of the twenty (20) foot, rear yard. Said compensating area shall be considered a required yard in accordance with [Section 17.52.330](#).

(Prior gen. code § 8-26.6.1)

17.08.090 - Yards—Dwelling facing side yard.

No dwelling shall be so oriented upon a lot in an R-1 district as to have its front or living room entrance opening into a side yard less than ten feet wide, extending from said entrance to the front yard.

(Prior gen. code § 8-26.7)

17.08.100 - Height of buildings.

No dwelling shall have a height of more than two stories, except as provided by [Section 17.52.090](#) nor shall any building or structure have a height in excess of twenty-five (25) feet, except as provided for in this section and by [Section 17.52.090](#). Provided the parcel has a median lot depth of at least one hundred (100) feet, a median lot width of at least seventy (70) feet, and effective lot frontage of at least fifty (50) feet, the height of a dwelling may be increased by two feet for each full ten feet than the median lot width exceeds seventy (70) feet up to a maximum height of thirty (30) feet.

Alameda County Zoning Ordinance

https://library.municode.com/ca/alameda_county/codes/code_of_ordinances?nodeId=ALAMEDA_CO_CALIFORNIAMUCO



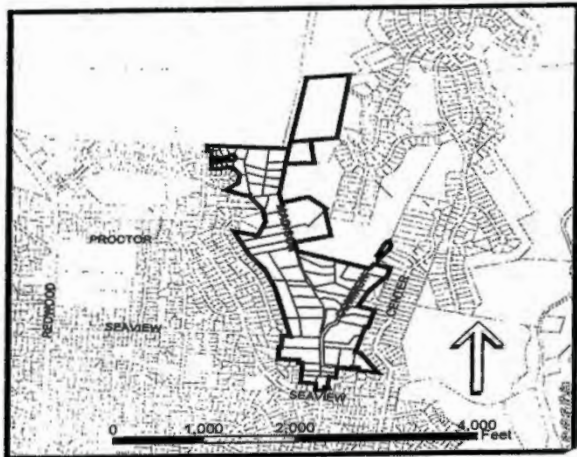
ORDINANCE NO. O-2006-41
 AN ORDINANCE AMENDING THE SPECIFIC PLAN FOR UPPER MADISON AVENUE/Common Road (hereinafter the *MADISON AREA SPECIFIC PLAN*) OF THE ALAMEDA COUNTY GENERAL ORDINANCE CODE

The Board of Supervisors of the County of Alameda, State of California, do ordain as follows:

SECTION I

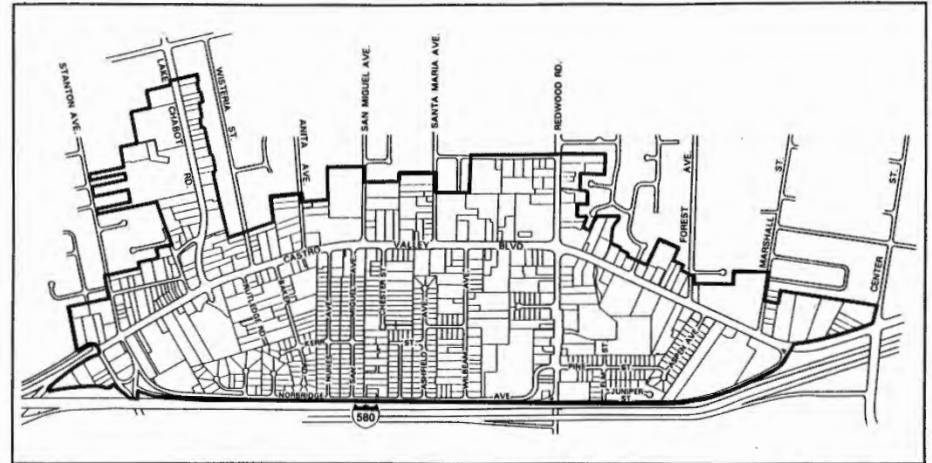
Pursuant to Sections 17.02.120 and 17.52.570 of Title 17 of the Alameda County General Ordinance Code, *The Madison Area Specific Plan*, which establishes zoning regulations for all parcels accessed from Madison Avenue and Common Road north of Seaview Avenue in Castro Valley, is hereby amended including but not limited to the following changes: Site Development Review is required for significant construction; limited flexibility is allowed for side yard setbacks; map of the Plan Area has been updated; slope controls are specified, non-substantive technical corrections and updates have been made; and parcels bearing County Assessor's Parcel Numbers 84C-0910-001-00, 84C-0895-002-06, 85-6310-007-00 have been added to the Plan Area, - all such amendments made part of *The Madison Area Specific Plan*, noted herein as Exhibit A.

A map of *The Madison Area Specific Plan* follows:



Madison Avenue Specific Plan

Design Standards & Guidelines Also Apply to...



CASTRO VALLEY CENTRAL BUSINESS DISTRICT SPECIFIC PLAN AREA

FIGURE 3

CASTRO VALLEY CENTRAL BUSINESS DISTRICT SPECIFIC PLAN
 Alameda County Planning Department, 1992

Castro Valley Central Business District Specific Plan



Community Concerns

Residential buildings that only meet construction standards without looking into *neighborhood context* or *architectural design* have resulted in low quality development



Design Guidelines Intended to: Preserve Homes with Character ...



... Keep Consistencies with Community Context ...



No Sensitivity to Neighborhood Context



... Properly Locate Multi-Family Units at Rear of Existing Units ...



... Consider Pedestrian Access ...



Two townhome examples
only one is designed for pedestrian access



... Build Homes with Character ...



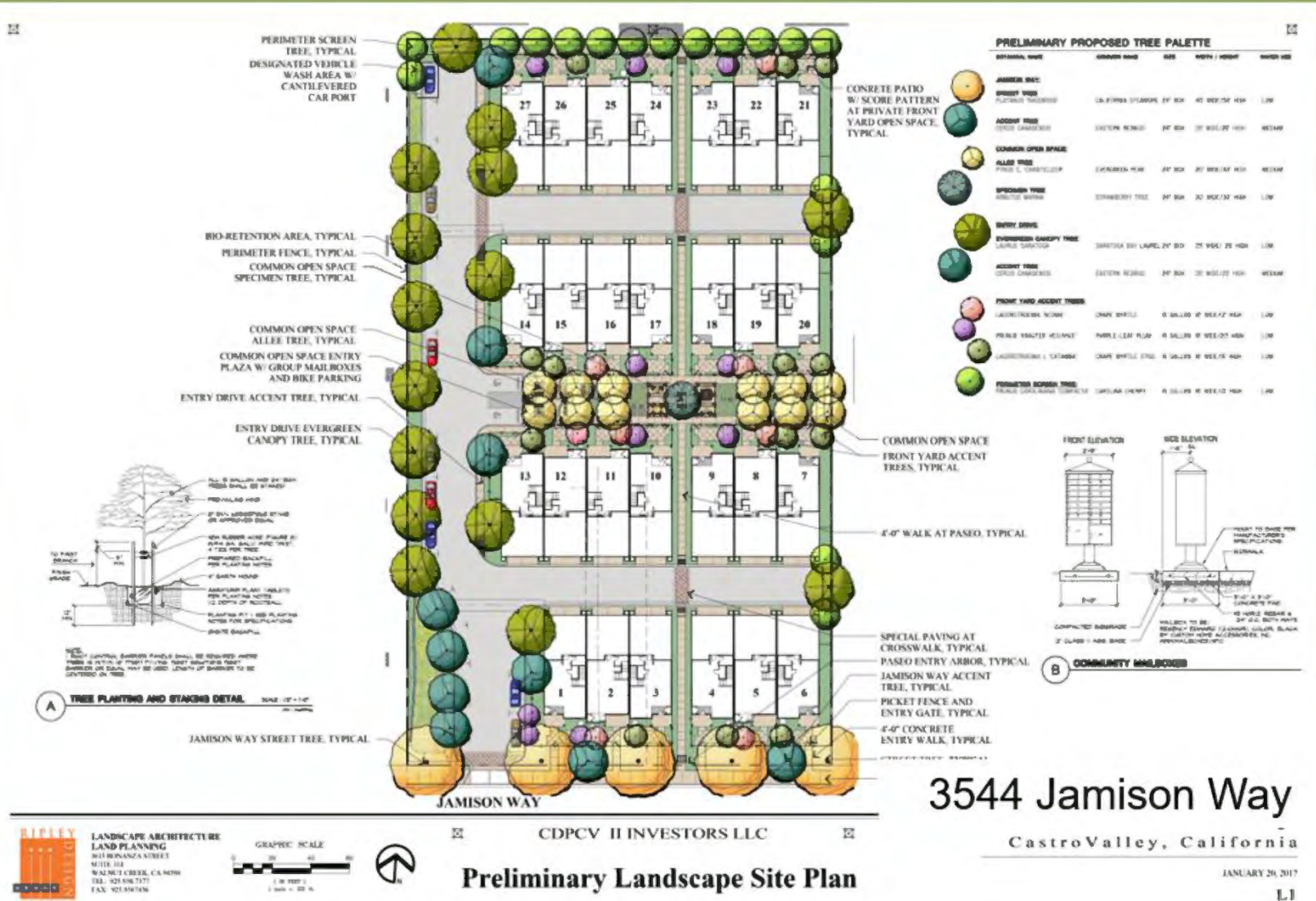
... Preserve Yard Green Spaces ...



... Create Community Gathering Spaces ...



... Create Visually Stimulating Spaces ...



... that Serve Community Outdoor Needs ...



... Preserve Garden-Lined Streets ...





Alameda County Planning Department October 24, 2017

... Create Garden-Lined Streets ...



St. Alphonsus Townhomes



... Create Tree-Lined Streets ...



... Create Pedestrian Activity





2014

Residential Design Standards and Guidelines

For the Unincorporated Communities of West Alameda County



Regulates:

- Single-Family
- Small-Lot Single Family
- Townhomes
- Multi-Family
- Mixed-Use Multi-Family



Planning

Albert Lopez
Planning Director

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- PENDING LAND USE PROJECTS ▸
- GENERAL PLAN, SPECIFIC PLANS & ORDINANCES ▸
- BOARD AND COMMISSION ▸
- MEETINGS ▸
- ZONING ORDINANCE, LAND USE FORMS and GUIDES, MAPS
- ALTAMONT OPEN SPACE
- COMMUNITY CHOICE AGGREGATION
- QUICK LINKS
- ARCHIVE



RESIDENTIAL Design Standards and Guidelines

for the unincorporated communities
of West Alameda County

Documents

The following documents are provided in Portable Document Format (PDF) and require the free [Adobe Reader](#).

- [Entire Design Standards And Guidelines](#) (PDF - 18.6mb) *
- [Cover + Table Of Contents](#) (PDF - 1.242kb) *
- [Chapter 1 - Introduction](#) (PDF - 92kb) *
- [Chapter 2 - Development Standards for Residential Projects](#) (PDF - 5,184kb) *
- [Chapter 3 - Design Guidelines for Residential Projects](#) (PDF - 5,325kb) *
- [Chapter 4 - Development Standards for Residential Mixed-Use Projects](#) (PDF - 1,434kb) *
- [Chapter 5 - Design Guidelines for Residential Mixed-Use Projects](#) (PDF - 5,703kb) *
- [Chapter 6 - Standards that Apply to all or some Projects](#) (PDF - 793kb) *
- [Chapter 7 - Definitions and Rules of Measurement](#) (PDF - 492kb) *

To purchase a hard copy of any of the plans, go to the Permit Center, Zoning Counter at 399 Elmhurst Street, Hayward, CA 94544.

Now Available

Effective Date: January 01, 2015

Project Description

In October of 2014, Alameda County adopted the Design Standards and Guidelines to update previous standards and establish design guidelines for new residential construction and redevelopment projects in the unincorporated areas of West Alameda County. The Residential Design Standards and Guidelines will be used by developers to assist in the design of projects and by County staff, County decision-makers and the general public to review applications for proposed projects. The key goal is to provide clarity and certainty about site planning and architectural design expectations.

The project area includes unincorporated western Alameda County, generally west of the East Bay hills, south of the city of San Leandro, north of the city of Hayward. It consists of the communities of Ashland, Castro Valley (within the Urbanized Area), Cherryland, Fairview and San Lorenzo. The area is approximately 22 square miles of urban and suburban land, with residential uses, built largely between the 1950s to the present, being the predominant land use.

What are Design Guidelines and Development Standards?

"Design Guidelines" are a set of discretionary statements and "Development Standards" are a set of threshold requirements. Both are intended to guide land development to achieve a desired level of quality for the physical environment.

Design Guidelines function to preserve and enhance the desired character of existing neighborhoods and improve the aesthetic and functional quality of new development projects. Design Guidelines and Development Standards cover both urban and suburban development and are organized primarily according to land use and building typology, such as single, family, townhouse-type multi-family development, flats-type multi-family development on several floors, and mixed-use residential & commercial development.

Contact Information

Rodrigo Orduña
Alameda County Planning Department
224 West Winton Avenue, Suite 111
Hayward, CA 94544
[Email Mr. Orduña](#)
Phone: (510) 670-5400
Fax: (510) 785-8793

<http://acgov.org/cda/planning/design.htm>



TABLE 2.2-1: SINGLE-FAMILY SUBDIVISION STANDARDS

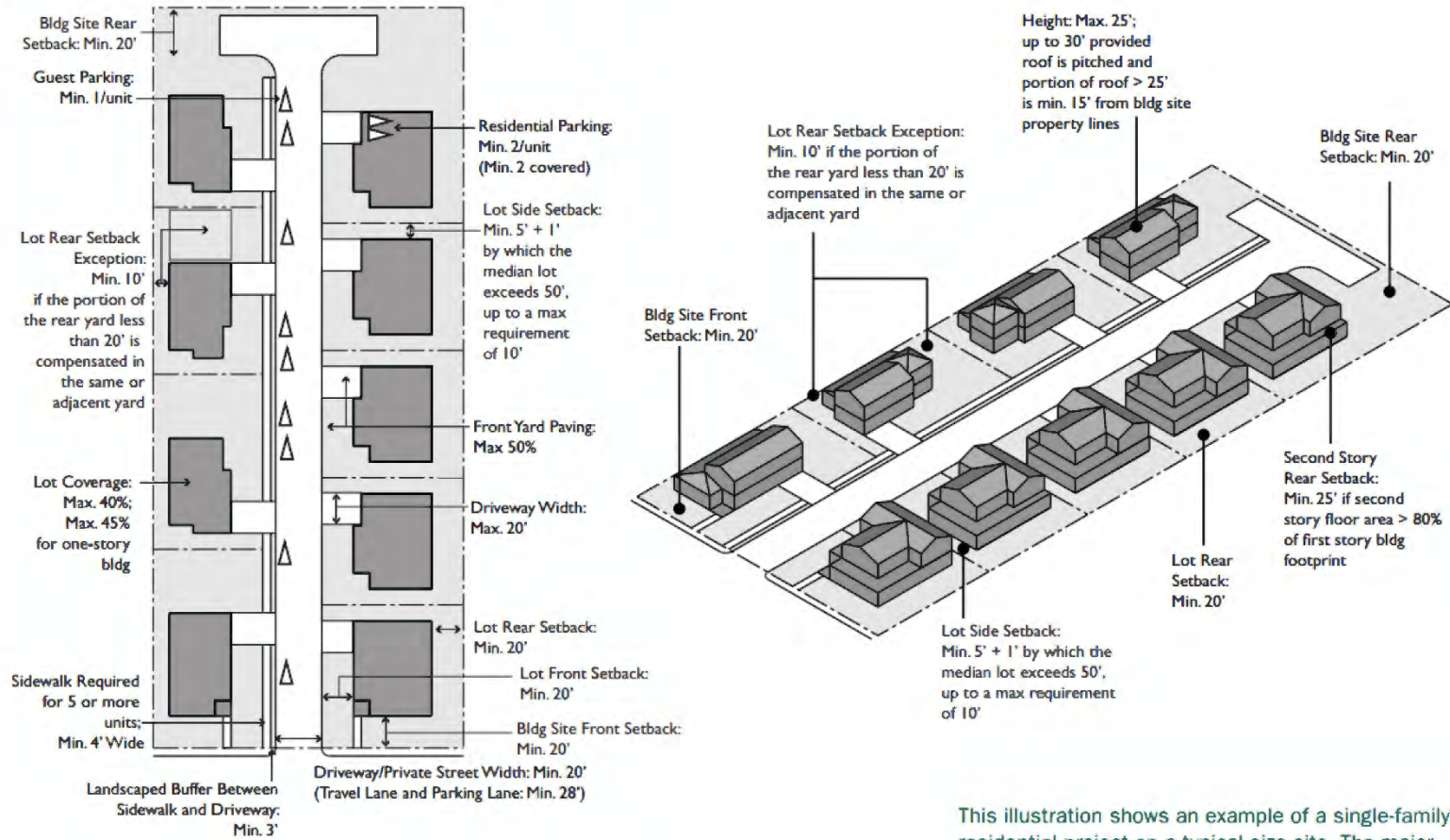
Standard^a	R-1	-B-8	-B-10	-B-20	-B-40	Additional Standards
DEVELOPMENT INTENSITY AND NEIGHBORHOOD COMPATIBILITY						
Minimum Building Site and Lot Size (sq ft)	5,000	8,000	10,000	20,000	40,000	In addition, Castro Valley and Fairview require consistency with existing development in the area. See Chapter 7: Lot Size Consistency.
Minimum Lot Width (ft)	50	80	100	150	150	
Minimum Lot Width, Corner Lot (ft)	60					
Maximum Lot Coverage (%)	40	40	40	40	40	
One-Story Building (%)	45	45	45	45	45	
BUILDING HEIGHT AND FORM						
Maximum Height (ft)	25	25	25	25	25	The building height limitation does not apply to chimneys, church spires, flag poles, or to mechanical appurtenances necessary and incidental to the permitted use of a building.
Height Exception (ft)	Up to 30	Up to 30	Up to 30	Up to 30	Up to 30	Provided that the roof is pitched and the portion of the roof over 25 feet in height is at least 15 feet away from building site property lines. See Figure 2.2-2.
Maximum Stories	2	2	2	2	2	
Maximum Second Story Floor Area (%) (Percentage of First Story Building Footprint)	80	80	80	80	80	The second story cannot exceed 80 percent of the first story building footprint area.
BUILDING RELATIONSHIP TO STREET						
Maximum Front Yard Paving (%)	50	50	50	50	50	See Figure 2.2-3.
Street Facing Façade Design	Required. Street facing facades must be designed to orient towards the public street, or private street if lot does not abut public street. Windows, entry door, and other elements must be incorporated to create an attractive street appearance that enhances the surrounding neighborhood.					
Building Entrances on Streets	Required. The principal entry shall be located in a visible location from the public street, or private street if lot does not abut public street.					
Covered Front Porch or Covered Recessed Entry	Required.					
Minimum Depth (ft)	5	5	5	5	5	Alternative designs that create a welcoming entry feature visible from the street, such as a trellis or landscaped courtyard entry may be approved by Staff. See Figure 2.2-4.
Minimum Area of Porch and/or Recessed Entrance (sq ft)	5 percent of the first story building footprint area; up to a maximum of 100 square feet					

Development Standards



Figure 2.2-1: Single-Family Residential R-1: Summary of Major Development Standards

NOTE: Diagrams not to be used for density calculations.



This illustration shows an example of a single-family residential project on a typical size site. The major development standards are indicated by text labels. Projects located in State Responsibility Fire Areas may be required to meet additional Fire Department standards.

Single-Family Subdivisions



C. BUILDING RELATIONSHIP TO THE STREET

Front Yards

These guidelines ensure that landscaped front yards in residential neighborhoods create an attractive neighborhood character and “curb appeal” along the street to increase the value of homes throughout the neighborhood.

C-1 Design front yard setbacks to provide a pedestrian scale and enhance the street, with setback dimensions that are generally consistent with the other buildings on the block.

C-2 Maximize front yard landscaping, through the following strategies:¹

- Limit paved areas to those which are necessary for auto circulation and pedestrian access to the front door.
- Use narrow paved wheel strips instead of wide paved driveways.
- Narrow driveways at the street and widen them closer to the garage entrance.
- Provide walkways to front doors that are no more than four feet wide. Incorporate landscaping into the walkway (if feasible given handicapped access needs.)
- Use permeable paving for pedestrian walkways.
- Use permeable paving for driveway aprons.

1. See Endnote

DESIRABLE



The landscaped front yards help provide a pedestrian scale along the street and create an attractive neighborhood character. (Guideline C-1)

UNDESIRABLE



Excessive paving in this front yard creates a barren street frontage. (Guideline C-2)

DESIRABLE



This driveway apron uses narrow paved wheel strips to maximize landscaping. (Guideline C-2)

Building Relationships to Street



DESIRABLE



The building entrance to this home is appropriately scaled and helps to create a more pedestrian friendly street frontage. (Guideline D-20)

UNDESIRABLE



In this example, the over-scaled building entrance exaggerates the scale of the structure. (Guideline D-20)

Doors and Entrances

- D-19 Emphasize building entrances with special architectural and landscape treatments.
- D-20 Design building entrances so that they are not over-scaled relative to the size of the buildings, such that they exaggerate the scale of the structure.

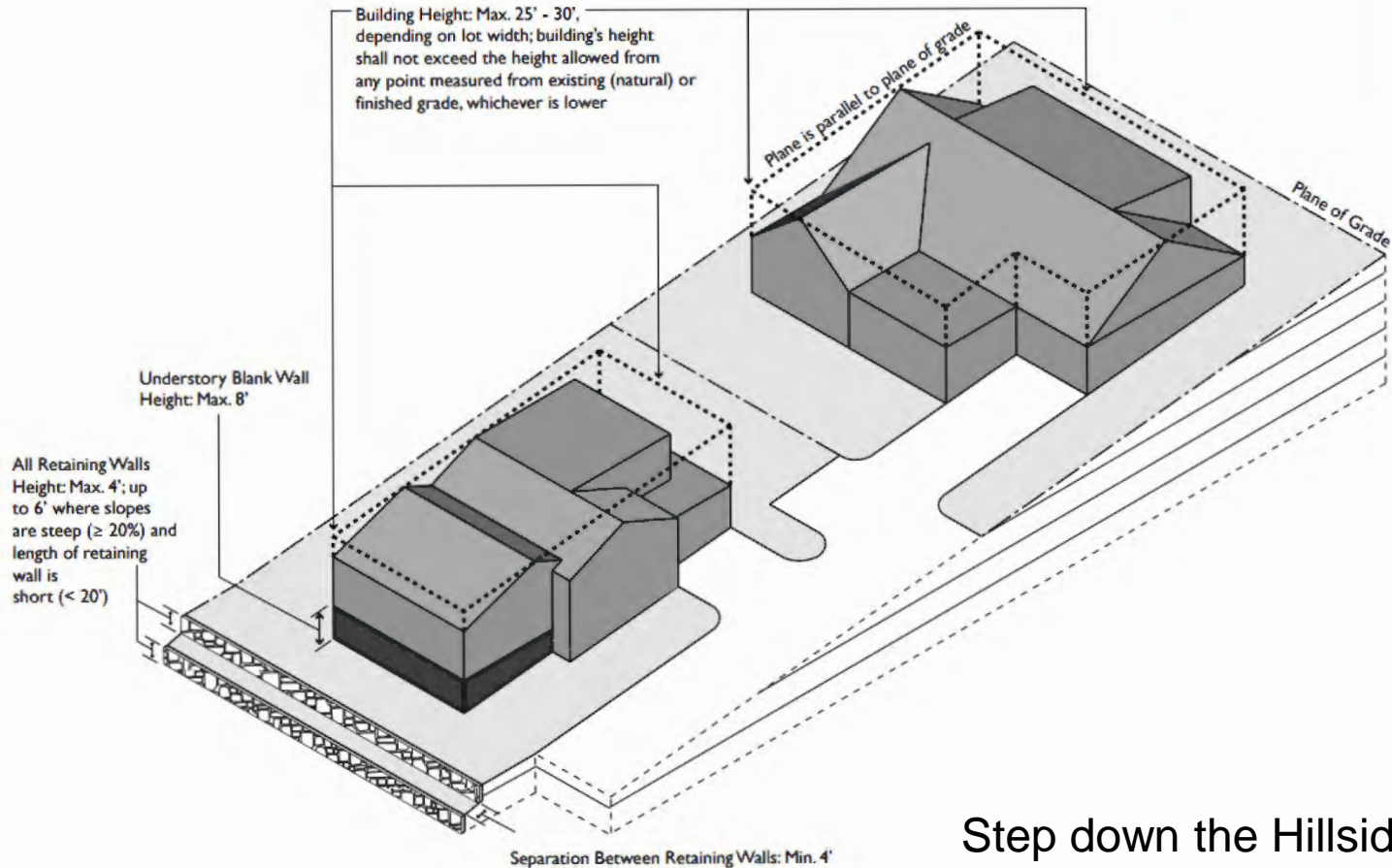
DESIRABLE



Sense of Scale and Materials



Figure 2.2-7: Single-Family Residential R-1 Hillside: Summary of Additional Major Development Standards



Step down the Hillsides



- B-4 In areas where the prevailing development is single-story, step back the upper stories along the public street frontage to maintain compatibility with the single-story character.
- B-5 In hillside areas, design buildings to step down the hillside, following the slope of the land, rather than having tall down-slope walls that are highly visible from surrounding properties and which are not consistent in scale with existing neighborhoods.

DESIRABLE



In this hillside subdivision, building height and bulk is minimized through horizontal and vertical setbacks and step-backs. (Guideline B-4)

UNDESIRABLE



The tall walls and over scaled entry of this single-family home exaggerate the height and scale of the building. (Guideline B-4)

UNDESIRABLE



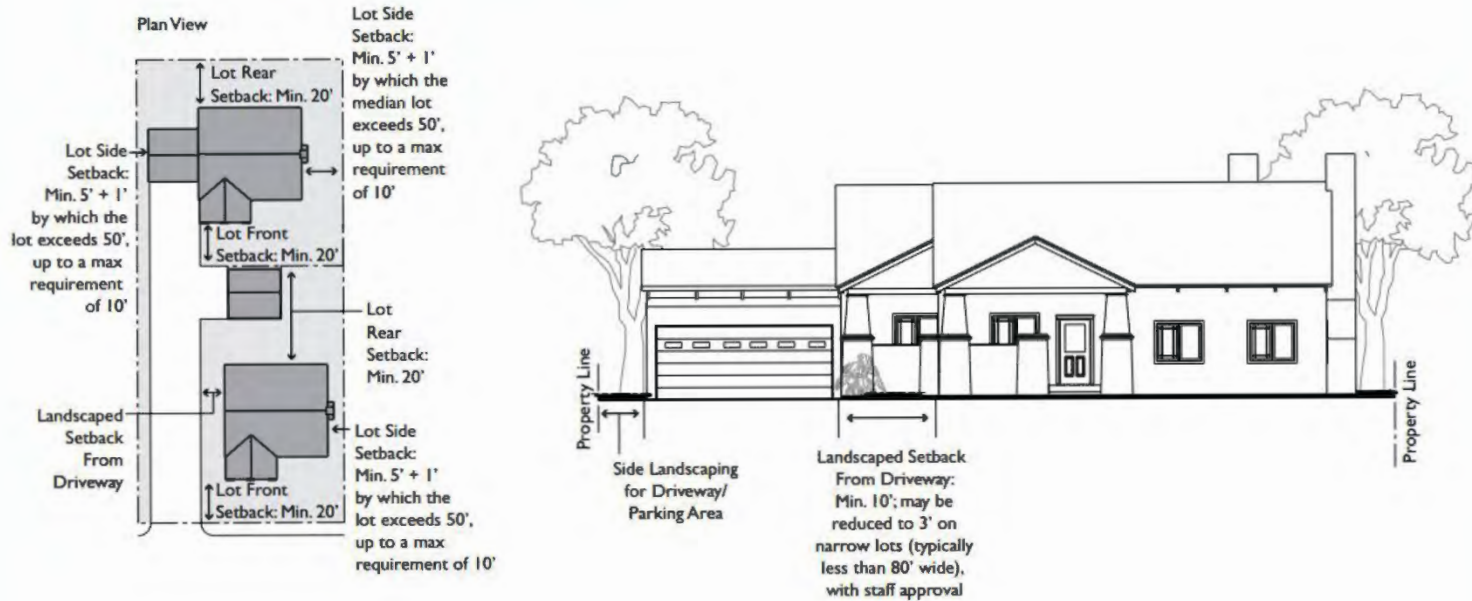
This single-family home does not step down the hillside, resulting in a tall downslope wall that is highly visible and out of scale with surrounding neighborhoods. (Guideline B-4)

Step down the Hillsides



Figure 2.2-6: Single-Family Residential: Flag Lot

NOTE: Diagrams not to be used for density calculations.



A. DEVELOPMENT INTENSITY AND NEIGHBORHOOD COMPATIBILITY

These guidelines ensure that projects do not visually disrupt the existing neighborhood character or degrade the environment and living experience of neighbors.

- A-1 Design projects to respect the development pattern of the neighborhood and complement the neighborhood character valued by the community.
- A-2 Design projects to enhance the appearance of and contribute positively to the existing visual context of the neighborhood.
- A-3 Locate and orient buildings to respect the need for privacy, light, and air of surrounding structures.

DESIRABLE



Tucking new small-lot single-family homes behind existing homes on deep lots preserves the existing single-family character and scale of the neighborhood. (Guideline A-1)

DESIRABLE



The design of this new small-lot single-family home, located behind an existing home, includes stepbacks and articulation, and contributes positively to the existing visual context of the neighborhood. (Guideline A-2)

UNDESIRABLE



Although the second story is stepped back from the street, the location of the garage, and the lack of landscaping, entryway, windows, and articulation along the front building facade produce an undesirable project. (Guideline A-2)

UNDESIRABLE



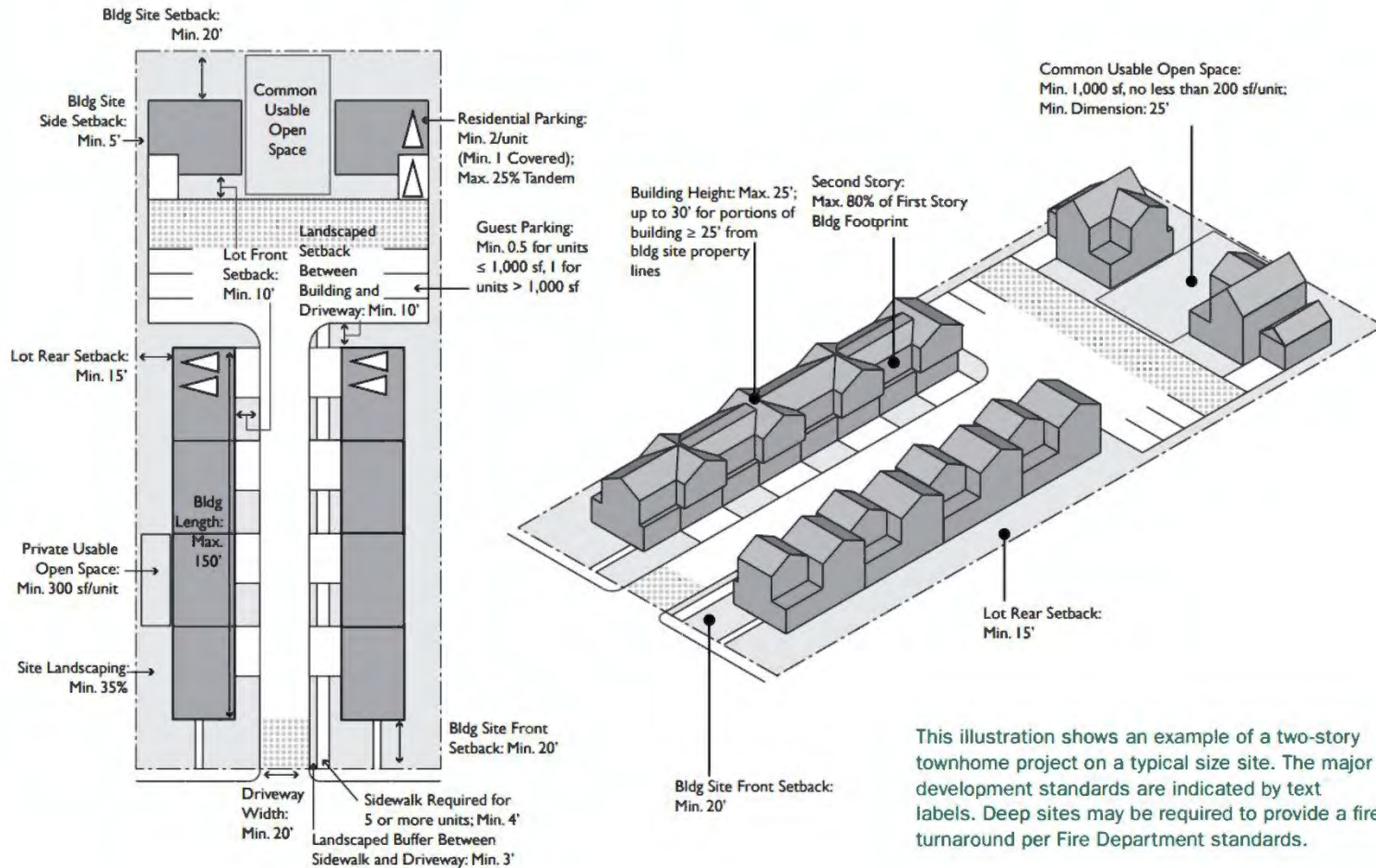
These new small-lot single-family homes, located behind an existing single-family home, lack stepbacks from the property line and do not respect the need for privacy, light, and air of surrounding structures. (Guideline A-3)

Fit the Scale of the Neighborhood



Figure 2.4-1: Two-Story Townhomes: Summary of Major Development Standards

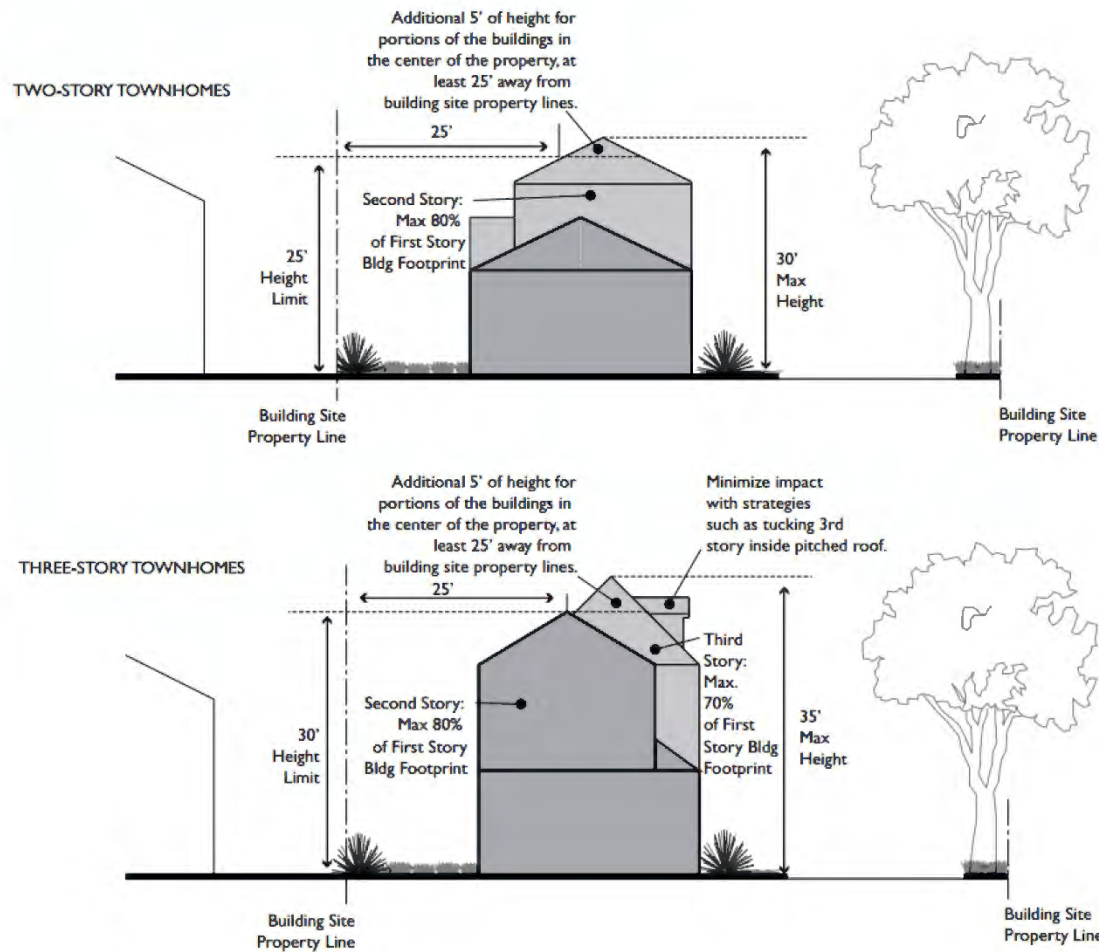
Note: Diagrams not to be used for density calculations.



This illustration shows an example of a two-story townhome project on a typical size site. The major development standards are indicated by text labels. Deep sites may be required to provide a fire turnaround per Fire Department standards.



Figure 2.4-4: Townhomes: Height



Townhome Development Relationship to Neighbors



DESIRABLE



A primary entrance, front porch, and primary living space windows on this street-facing façade create an attractive appearance that enhances the surrounding neighborhood. (Guideline C-3)

DESIRABLE



A trellis signals the route to entry to this multi-family residential project. (Guideline C-4)

UNDESIRABLE



The lack of primary windows and a front entrance on this street-facing façade results in a building that does not relate to the street or surrounding neighborhood. (Guideline C-3)

DESIRABLE



Although this is one continuous facade, the individual units are articulated with different designs, roof forms, and individual entrances. (Guideline C-5)

Building Orientation, Entrances, and Street-Facing Facades

These guidelines ensure that projects create an attractive street appearance that contributes to neighborhood character, establishes a sense of community, and fosters social interaction among neighbors.

- C-3 Design the street-facing façade to orient towards the public street, or private street if lot does not abut public street. Incorporate a front porch, front door, primary living space windows, building articulation elements (such as cornices, brackets, overhangs, shutters, window boxes, etc.), and extensive front yard landscaping to create an attractive street appearance that enhances the surrounding neighborhood.
- C-4 Locate the primary front entrance of residential units to face public, or private streets if lot does not abut public street.
 - Where it is not feasible to locate the front door facing the street due to topography or other physical constraints, provide a trellis or landscaped courtyard entry to signal the route to the entry. Use accent landscaping and special landscape elements, such as feature planting, including free-standing columns or trellises with vines for vertical accent, to give visual expression to site circulation, especially at entrances and exits.
- C-5 In areas where the prevailing character is single-family detached development, design the public street facing facade to “read” like single unit structures. Examples include shifting the units in section, varying the design treatment for individual units, and incorporating individual unit entrances along the facade.



Building Articulation

D-12 Design doorways, columns, overhangs, and other architectural elements to be substantial in depth, in order to create shadow and architectural relief. Incorporate at least three of the following features, consistent in design style, that provide articulation and design interest consistently throughout the project:

- Decorative trim elements that add detail and articulation, such as door surrounds with at least a two-inch depth, decorative eave detailing, belt courses;
- Pitched / variegated roof forms;
- Roof overhangs at least 18 inches deep;
- Variety in use of materials, especially at ground level stories, for detailing at porches / entry areas, paneling at bays or at special parts of the building;
- Building base (typically bottom three feet) that is faced with a stone or brick material, or is delineated with a channel or projection; and/or
- Railings with a design pattern and materials such as wood, metal, or stone which reinforces the architectural style of the building.

DESIRABLE



The detailing of the roof eaves and recessed entry add depth to the street-facing facade of this home. (Guideline D-12)

DESIRABLE



Pitched and variegated roof forms along with roof overhangs on this single-family home help create a visually interesting façade. (Guideline D-12)

UNDESIRABLE



The lack of window recesses and trim of substantial depth on the side wall of this townhome project results in a long flat continuous side wall that impacts the adjacent neighboring single-family residence. (Guideline D-12)

UNDESIRABLE



Although this townhome project has several building articulation elements, the inappropriate scale of these elements along with the lack of architectural integrity produce an overly bulky and unsuccessful design. (Guideline D-12)

Building Articulation – Materials and Massing



F. AUTO CIRCULATION: SITE ACCESS, STREETS, AND DRIVEWAYS²

These guidelines ensure a safe and convenient pedestrian environment and an attractive street frontage to accommodate pedestrian and bicycle activities.

- F-1 Minimize the number of curb cuts, to minimize interruptions in the sidewalk and maximize front yard landscaping.
- F-2 Space curb cuts so as to preserve on-street parking and minimize paving.
- F-3 Maximize the use of shared access driveways when driveways are closer than 50 feet apart; if a project's access driveway is adjacent to an existing access driveway, a landscaping buffer of at least 5 feet in width must be provided between the access driveways.
- F-4 Design private driveways, private streets, and public streets according to the Engineering Design Guidelines for Unincorporated Alameda County.
- F-5 Gates for townhouse housing or for single-family detached "gated communities" are strongly discouraged.

2. See Endnote

DESIRABLE



If driveways are to be located next to each other, extensive landscaping must be installed between the two driveways to improve the street appearance and the outlook from residences. (Guideline F-3)

UNDESIRABLE



If the two driveways were shared, the resulting residential lots would be larger and there would be more landscaping and open space. (Guideline F-3)

UNDESIRABLE



Driveways need to be landscaped



G-5 Locate garage entrances and driveways to the side of the property instead of at the center.

Parking Lot Layout

G-6 Disperse contiguously paved parking areas throughout the project in smaller segmented parking areas, rather than creating large parking lots.

Parking Garages

G-7 Reduce the prominence of garage doors through one or more of the following strategies:

- Locate the garage door behind the front porch and/or living space, relative to the front lot line;
- Design the second floor to overhang beyond the garage door.
- Locate the garage to the side of building rather than at the center.
- Three-car garages for single-family houses:
- For garages with three or more non-tandem parked cars, the area of the front wall(s) of garages(s) should not be more than 25% of the cumulative exterior front walls of a two story single-family residential building; no more than 50% of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of a three-car garage must be separated from the remaining garage front wall by at least two feet. Three story single-family residential buildings should be no more than 20% of the cumulative exterior front walls to be the area of the front wall of the garage.

DESIRABLE



The garage is located behind the front porch and living space, allowing the entry of unit to become the prominent feature. (Guideline G-7)

UNDESIRABLE



Locating the garage in the center of the street makes the garage extremely prominent and detracts from street appearance. (Guideline G-7)

DESIRABLE

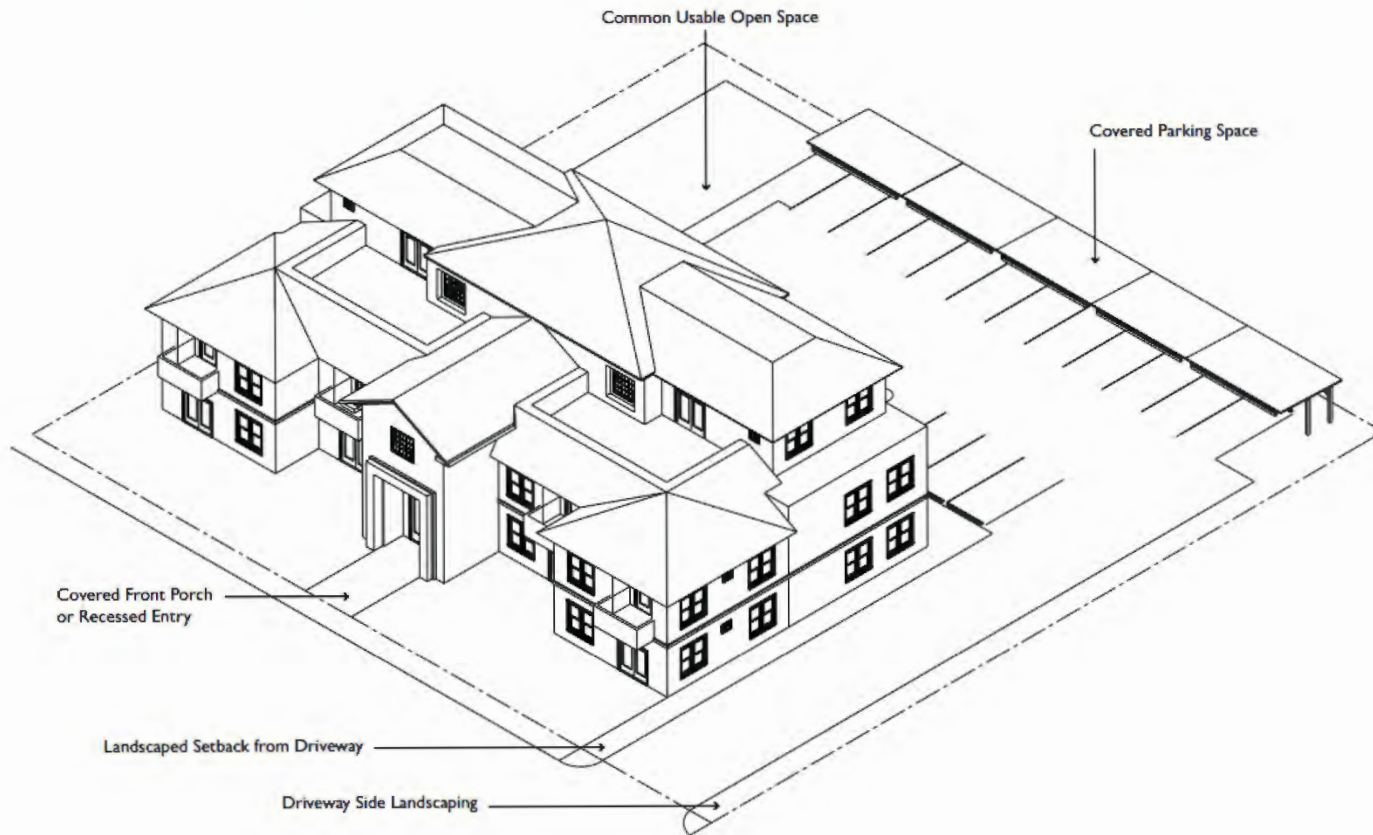


The garage is located to the rear of the building, which minimizes the visibility of the garage. (Guideline G-7)

Tuck away the Car Access Points



Figure 2.5-2: Multi-Family Residential Project
For illustrative purposes only; see Table 2.5-1 for details.



Multi-Family Housing Facing the Street



Figure 4.2-4: Residential Mixed Use: Frontages

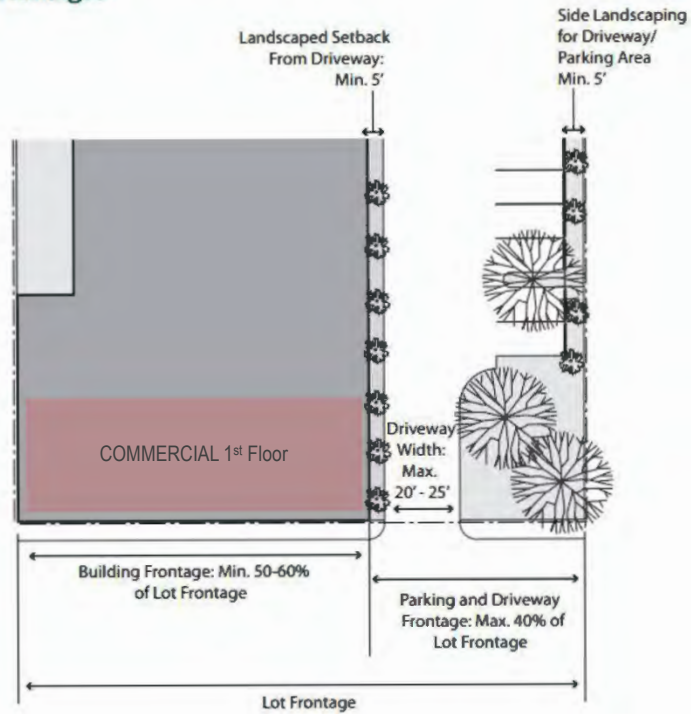
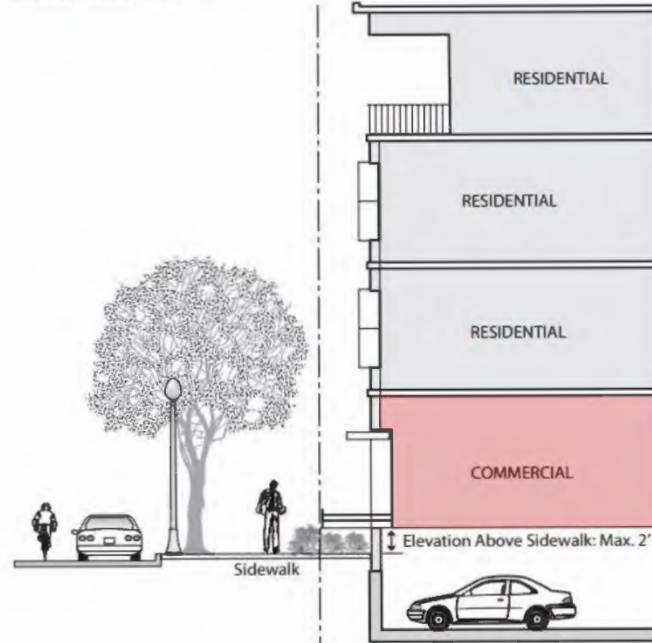


Figure 4.2-5: Residential Mixed Use: Commercial Elevation Above Sidewalk



Mixed-use Commercial / Residential



DESIRABLE



These active commercial uses on the ground floor, including restaurant and retail, adjacent to the sidewalk create a lively pedestrian realm. (Guideline B-1)

DESIRABLE



Continuous storefront windows and frequent, highly visible entrances along this street provides visual interest and promotes walkability. (Guideline B-2)

DESIRABLE



This open air store frontage brings the retail activity to the street, engaging pedestrians who walk by. (Guideline B-2)

B. LOCATION OF COMMERCIAL AND RESIDENTIAL USES

These guidelines ensure that the ground floor commercial uses create an active pedestrian realm, that is an engaging and well-populated environment with a variety of uses and activities.

- B-1 Locate active commercial uses on the ground floor adjacent to the sidewalk, including retail, restaurant, and personal service uses.
- B-2 Provide continuous storefront windows, open air store frontages, and frequent, highly visible entrances for ground floor commercial uses adjacent to the street and sidewalk.

ACBD

- B-3 In ACBD-TC and ACBD-TA, locate buildings at or near the property line. Ground floor street frontage space is to be predominantly for active, pedestrian-oriented uses.
- B-4 In the ACBD, the residential component of mixed-use development adjacent to residential property shall be located to be functionally a part of the residential area. For example, primary access to the residential units shall be from the residential street, and residential units shall have view access to the adjacent residential neighborhood.

Bring Life to the Sidewalks



Rear Yard. Fences within the required rear yard shall not exceed 6 feet in height. Fences may be built to a height of seven feet, provided that the portion of the fence exceeding six feet in height consists of lattice or similar non-solid material.

Outside of Required Yards. Fences outside of required yards shall not exceed 6 feet in height. Fences may be built to a height of 7 feet, provided that the portion of the fence exceeding 6 feet in height consists of lattice or similar non-solid materials.

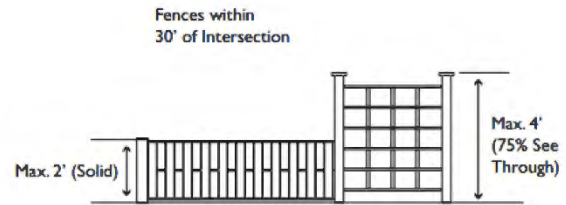
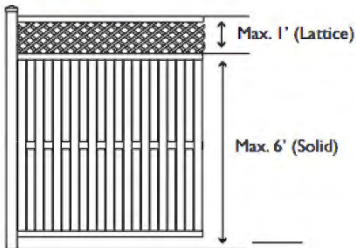
ACBD Mixed-Use Projects

If a fence is provided between the residential front lawn setback and the required landscape setback for the adjacent commercial frontage, the maximum height shall be 4 feet.

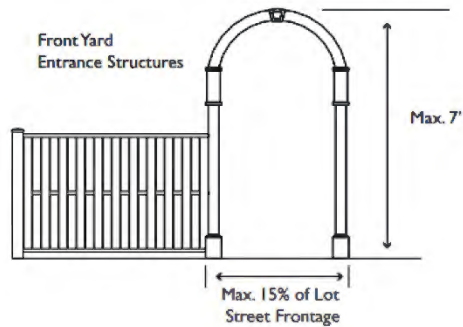
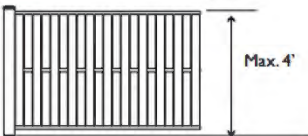
Commercial development and/or all paved areas adjacent to residential development shall be separated by a masonry wall built to a minimum height of 6 feet and a maximum height of 8 feet.

Figure 6-5: Fence Heights

Fences within Required Rear Yard, Interior Side Yard, and at or Beyond 3' of Street Side Property Line



Fences within Required Front Yard, and within 3' of Street Side Property Line



Even Fencing Matters



K. FENCES AND WALLS

These guidelines ensure that fences and walls contribute to an attractive street appearance.

- K-1 Design fences and walls to be an attractive part of the project, with materials and designs that are compatible with the exterior building materials and demonstrate integrated design integrity in the project as a whole.
- K-2 Locate fences or walls on the property to define private open space and common open space areas, protect privacy and buffer residents from noise sources
- K-3 Use masonry materials for sound reduction purposes.
- K-4 Gates for townhouse housing or for single-family detached "gated communities" are strongly discouraged.

DESIRABLE



This fence located along the street edge enhances the street appearance. (Guideline K-1)

UNDESIRABLE



In this example, the excessively tall wall and lack of landscaping detract from neighborhood appearance. (Guideline K-2)

DESIRABLE



A solid wall located along the front yard is hidden behind landscaping and therefore is less imposing on the pedestrian realm. (Guideline K-2)

DESIRABLE



Retaining walls step down the hillside and are integrated into the landscaping, minimizing their bulk and visual impact. (Guideline K-2)

Fortress vs Landscaped Terracing or Open Fencing



Trash

- L-4 Provide on-site facilities for trash storage and for recyclable materials.
- L-5 In general, decentralized bins are to be provided for each unit within detached single-family and townhome development; and centralized enclosures are to be installed within complexes for multi-family "flats".
- L-6 In coordination with applicable collection services and Alameda County, provide centralized garbage, recycling, and/or compost dumpsters inside covered trash enclosures for multi-family residential complexes.
- L-7 Build covered garbage, recycling, and/or compost enclosures to comply with the Municipal regional Permit (MRP), with durable materials such as stone, concrete block, steel, or heavy timber.
- L-8 Decentralized garbage, recycling, and/or compost bins should be located behind a fence or otherwise not visible from the public or private roadway.

Utilities

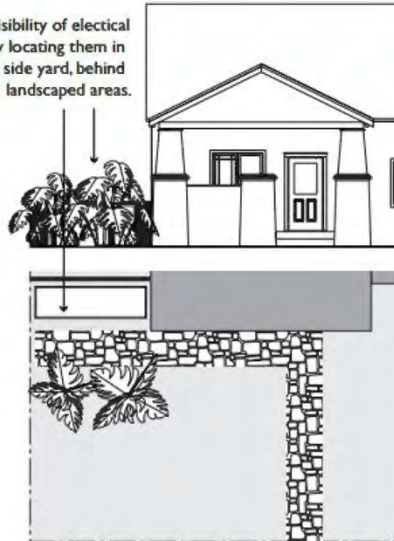
- L-9 Locate electrical panels to minimize their visibility from the street, in locations such as side yard walls, and/or behind landscaped areas. Integrate them into the design of residential buildings to the maximum extent feasible.
- L-10 Minimize the visibility of utilities connections from the public street.

Storage

- L-11 Provide bulk storage areas in garages or in residential units, so that people use their garages for auto parking and avoid outdoor storage of large household goods.

DESIRABLE

Minimize visibility of electrical panels by locating them in the side yard, behind landscaped areas.



UNDESIRABLE



Electrical panels should not project from the wall; they should be located on the side yard wall, or behind ample landscaping. (Guideline L-9)

Utilities Matter



DESIGN REVIEW CHECKLIST FOR NEW SINGLE-FAMILY DETACHED RESIDENTIAL STRUCTURES AND SECONDARY UNITS ON EXISTING SINGLE LOTS

1. Development Intensity and Neighborhood Compatibility

1.1 Floor Area Ratio

The Floor Area Ratio (FAR) of the building is 50 percent greater than the median FAR of single-family residential structures on abutting parcels in same zoning district.

YES _____ Needs TRACK 2 Review Cannot continue with Design Review Checklist	NO _____
--	----------



1.2 Lot Coverage

If the project is a one-story building:

The building lot coverage does not exceed 45 percent of the lot area (projects that include an otherwise fully conforming secondary unit are exempt).

The building lot coverage is between 40 and 45 percent of the lot area.

The building lot coverage does not exceed 40 percent of the lot area.

Points Possible	Points Obtained
(New-Required by Ordinance)	
5	
10	
<i>Subtotal</i>	_____

OR

If the project is a two-story building:

The building lot coverage does not exceed 40 percent of the lot area (projects that include an otherwise fully conforming secondary unit are exempt)

The building lot coverage does not exceed 35 percent of the lot area (not applicable to projects including a second unit that conforms to all applicable standards).

The building lot coverage does not exceed 30 percent of the lot area (not applicable to projects including a second unit that conforms with all applicable standards).

Points Possible	Points Obtained
(New-Required by Ordinance)	
5	
10	
<i>Subtotal</i>	_____

1.2 Minimum Points Required This Section

5

2. Building Height

2.1 Height

The final building height is 50 percent taller than the average height of residential structures on abutting parcels.

OR

The final building height does not exceed 20 feet (the building is a one story building).

Points Possible	Points Obtained
YES _____ Needs TRACK 2 Review Cannot continue with Design Review Checklist	NO _____
10	

Over-the-Counter Design Review Checklist Process for Single-Family Homes



Implement the Community Vision in the Castro Valley General Plan

Good design fits the Castro Valley community vision

Use of Residential Development Standards and Guidelines means:

- slight increase in the costs of project design and construction
- increase in design quality
- increase in the price of sale or rental of the residential units
- increase in property values of the developed sites
- benefit to Castro Valley areas with increased quality



Take Advantage of Demand for Housing

- Families are staying in and seeking urban & suburban areas
- Castro Valley is currently very marketable
- Development pressure is building in Castro Valley due to desirability
- Growth must be managed, well-designed



Questions?



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